

REMODELED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

2-2X8 SPF HEADER W/ 1" SPACER TYPICAL @ WINDOWS

NOTE #1: 24" X 30" ATTIC ACCESS. HVAC UNIT ABOVE.

NOTE #2: EXIST. CEILING JOISTS TO BE REMOVED. INSTALL 2X8 COLLAR TIES 21" ABOVE TOP PLATE.

NOTE #3: EXIST. CEILING JOISTS TO BE NAILED TO NEWER ROOF RAFTER. INSTALL 2X8 COLLAR TIES 21" ABOVE TOP PLATE.

NOTE #4: 2X10 SPF CEILING JOISTS @ 16" O.C. & SISTER TO EXISTING ROOF RAFTERS. SPAN 15'-6". REMOVE EXIST. CEILING JOISTS

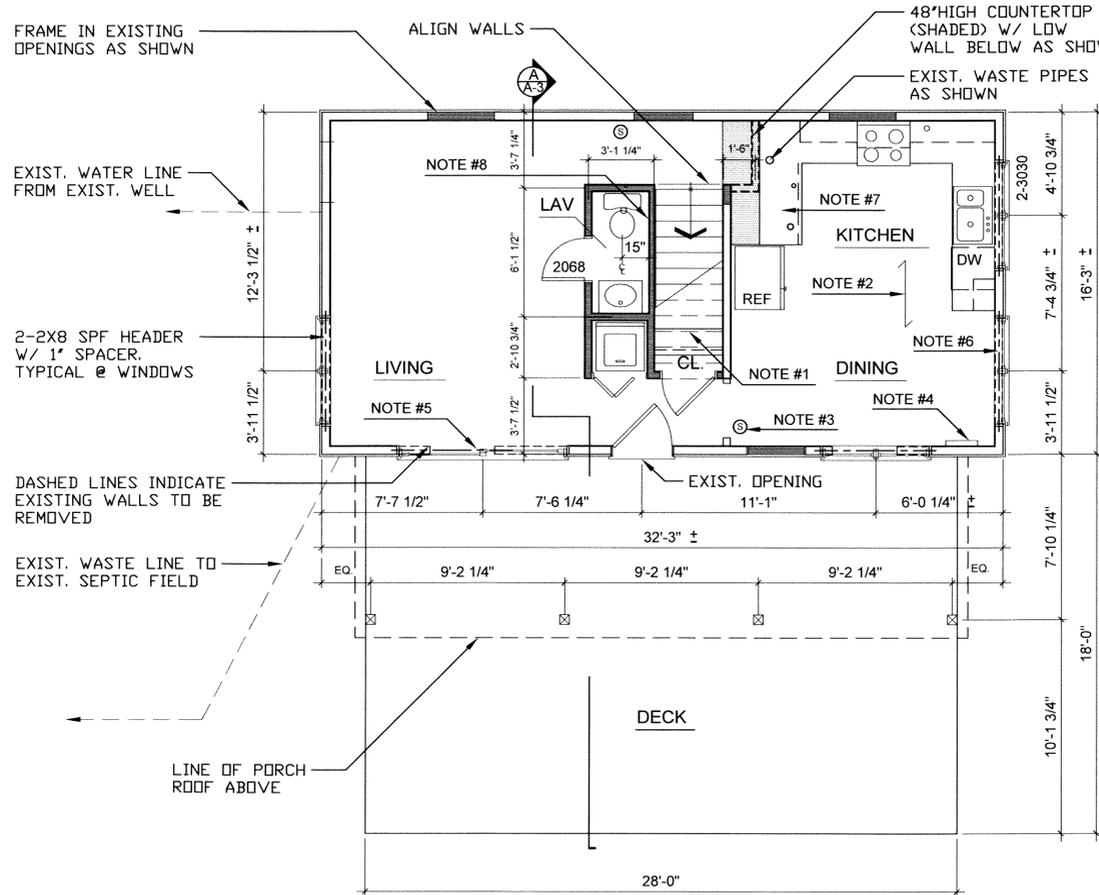
NOTE #5: SMOKE DETECTORS AS SHOWN

GENERAL NOTES

- NOTE 1: CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY OWNER OF ANY CONFLICT W/ THESE CONSTRUCTION DOCUMENTS
- NOTE 2: ALL WORK SHALL CONFORM TO ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES.
- NOTE 3: ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL W/ MIN. BEARING CAPACITY OF 1,500 PSF, MINIMUM 24" BELOW FINISH GRADE.
- NOTE 4: ALL FASTENERS IN DIRECT CONTACT W/ PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
- NOTE 5: ALL UNTREATED EXTERIOR WOODWORK ON EXISTING BUILDING SHALL BE PRIMED ON ALL SIDES PRIOR TO INSTALLATION, AND EXPOSED FACES TO HAVE 2 FINISH COATS OF PAINT.
- NOTE 6: ALL FINISHED DRYWALL & TRIM SHALL HAVE 1 PRIME COAT & 2 FINISH COATS OF PAINT.
- NOTE 7: NAILING FOR EXTERIOR WALL SHEATHING SHALL COMPLY W/ A.P.A. REQUIREMENTS FOR SHEAR WALLS.
- NOTE 8: ALL WINDOWS ARE SIZED IN PLANS & ELEVATIONS. MANUFACTURER TO BE SELECTED BY OWNER
- NOTE 9: ALL CABINETS, APPLIANCES, COUNTERTOPS, PLUMBING FIXTURES, FITTINGS, AND FINISH FLOORING TO BE SELECTED BY OWNER.
- NOTE 10: INTERIOR WOOD TRIM TO HAVE 1 PRIME COAT & 2 FINISH COATS OF PAINT. TRIM TO BE SELECTED BY OWNER.
- NOTE 11: HVAC UNIT TO BE LOCATED IN ATTIC ABOVE STAIRS. WATER HEATER & PRESSURE TANK TO BE LOCATED IN KITCHEN CABINET. SEE FLOOR PLANS.

DESIGN CRITERIA

WIND SPEED = MIN. 90 MPH CODE: 2009 IRC & 2009 VA - USBC
 ROOF SNOW LOAD = 30 PSF USE: R-3
 FLOOR LOAD:
 LIVE LOAD = 40 PSF
 SLEEPING ROOM LOADS = 30 PSF
 DEAD LOADS = 10 PSF



REMODELED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE #1: EXIST. STAIRS TO REMAIN. REINFORCE AS NECESSARY. ROD & SHELF FOR CLOSET

NOTE #2: SISTER 2X10 SPF FLOOR JOISTS TO EXIST. FLOOR JOISTS. SPAN 15'-6"

NOTE #3: SMOKE DETECTORS AS SHOWN

NOTE #4: ELECTRIC PANEL

NOTE #5: 2- 2X12 SPF HEADER W/ 1" PLYWOOD FLITCH PLATE, & 3- 2X4 JACK STUDS @ EACH END

NOTE #6: 2- 2X8 SPF HEADER W/ 1" PLYWOOD SPACER. TYPICAL @ ALL WINDOWS & MAIN ENTRANCE

NOTE #7: LOCATE WATER HEATER & PRESSURE TANK IN CABINET

NOTE #8: WALL DEPTH TO 2X3 SPF STUDS @ 16" O.C. OR LESS SO TOILET CENTERLINE IS MIN. 15" OFF FINISH WALL AS SHOWN.

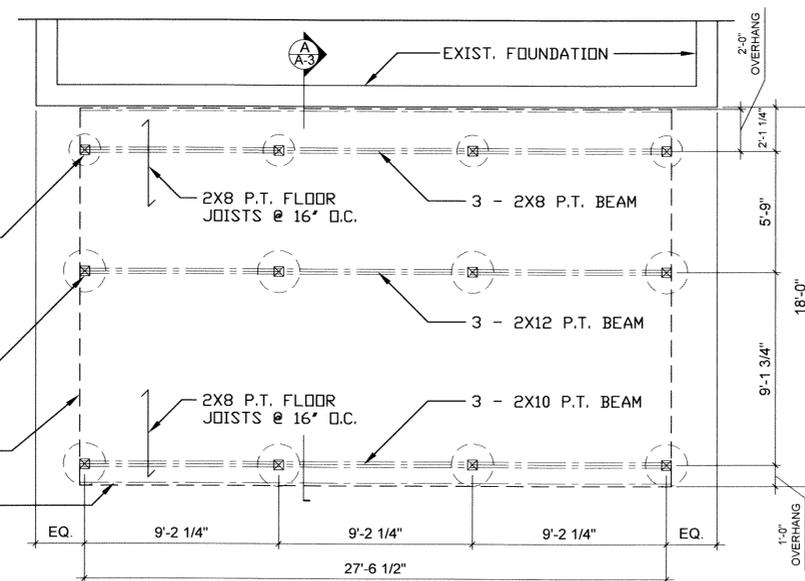
6X6 P.T. POST ON 18" DIA. X 12" DEEP CONCRETE FOOTING W/ 'SIMPSON' BCS2-3/6 POST CAP SEE SECTION A. TYPICAL FOR 4

6X6 P.T. POST ON 24" DIA. X 12" DEEP CONCRETE FOOTING W/ 'SIMPSON' BCS2-3/6 POST CAP SEE SECTION A. TYPICAL FOR 8

LINE OF DECK ABOVE

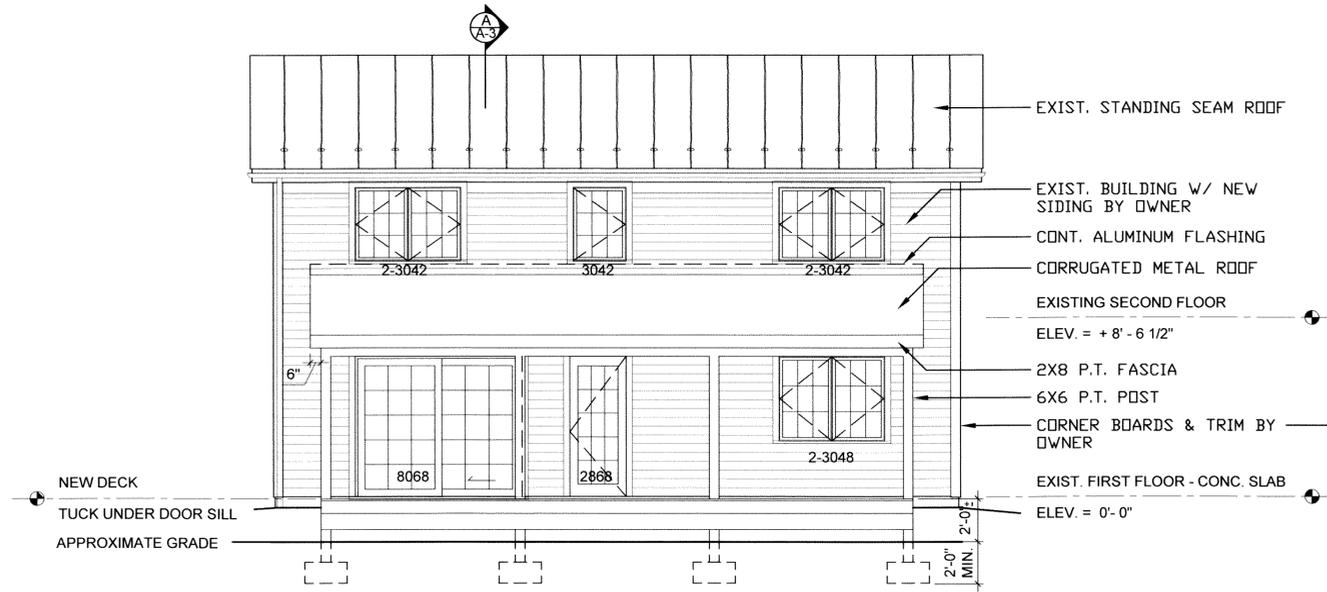
2X8 P.T. RIM BOARD

NOTE: EXISTING FOUNDATION PER: PERMIT S12-29852, DATED: 1-17-13



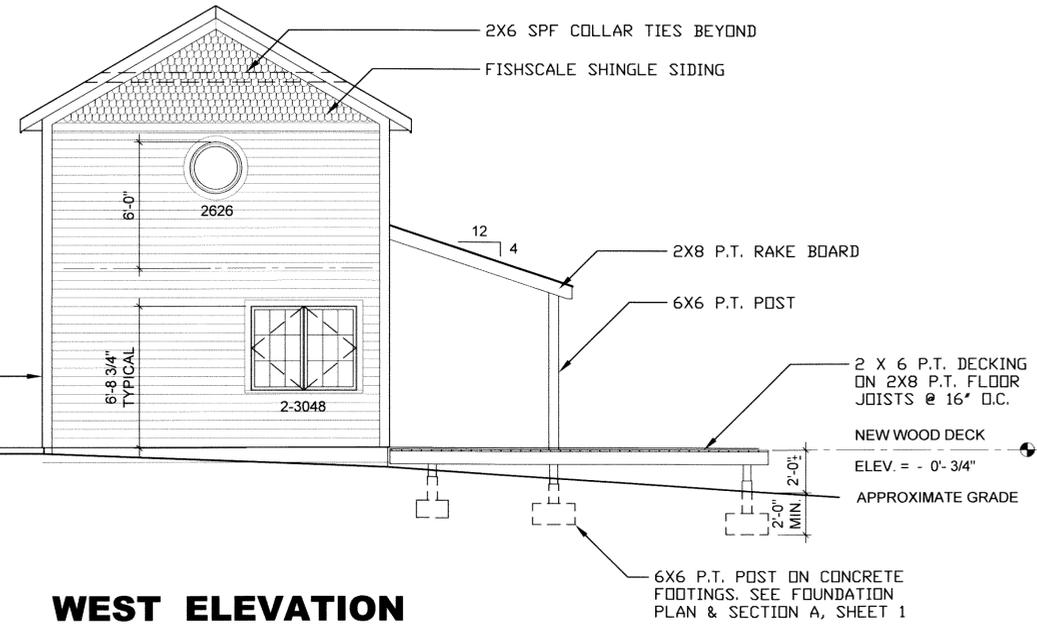
DECK - FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



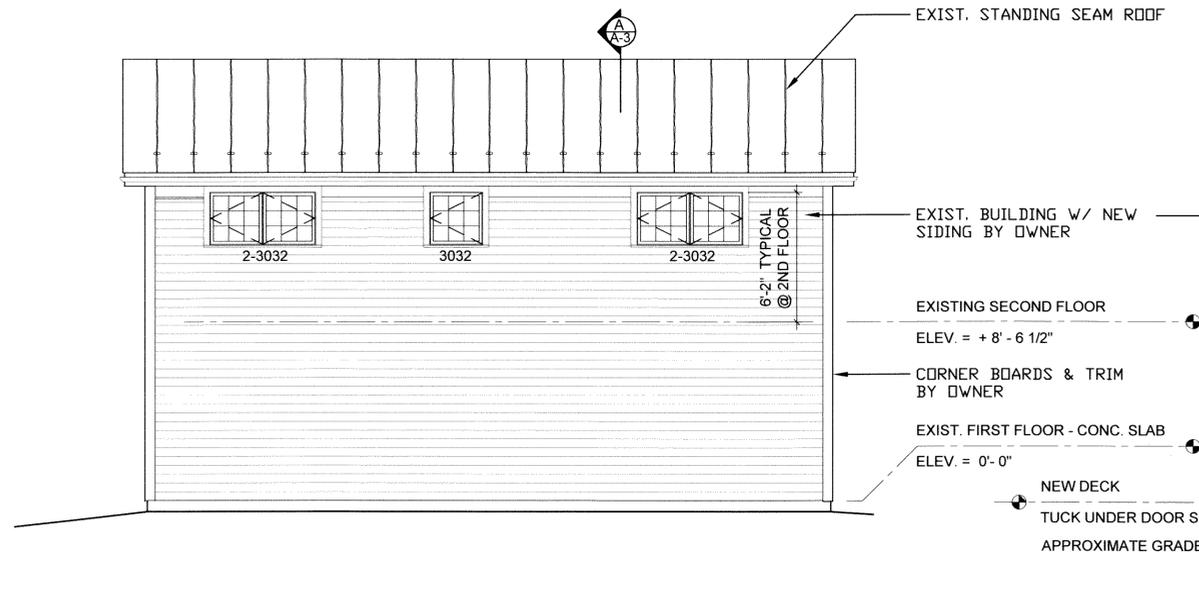
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



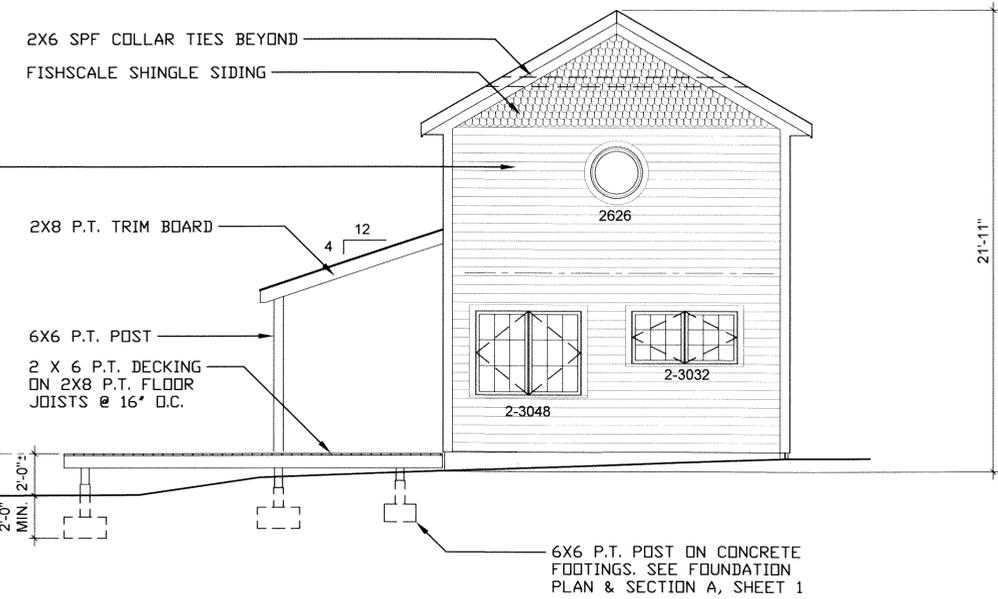
WEST ELEVATION

SCALE: 1/4" = 1'-0"



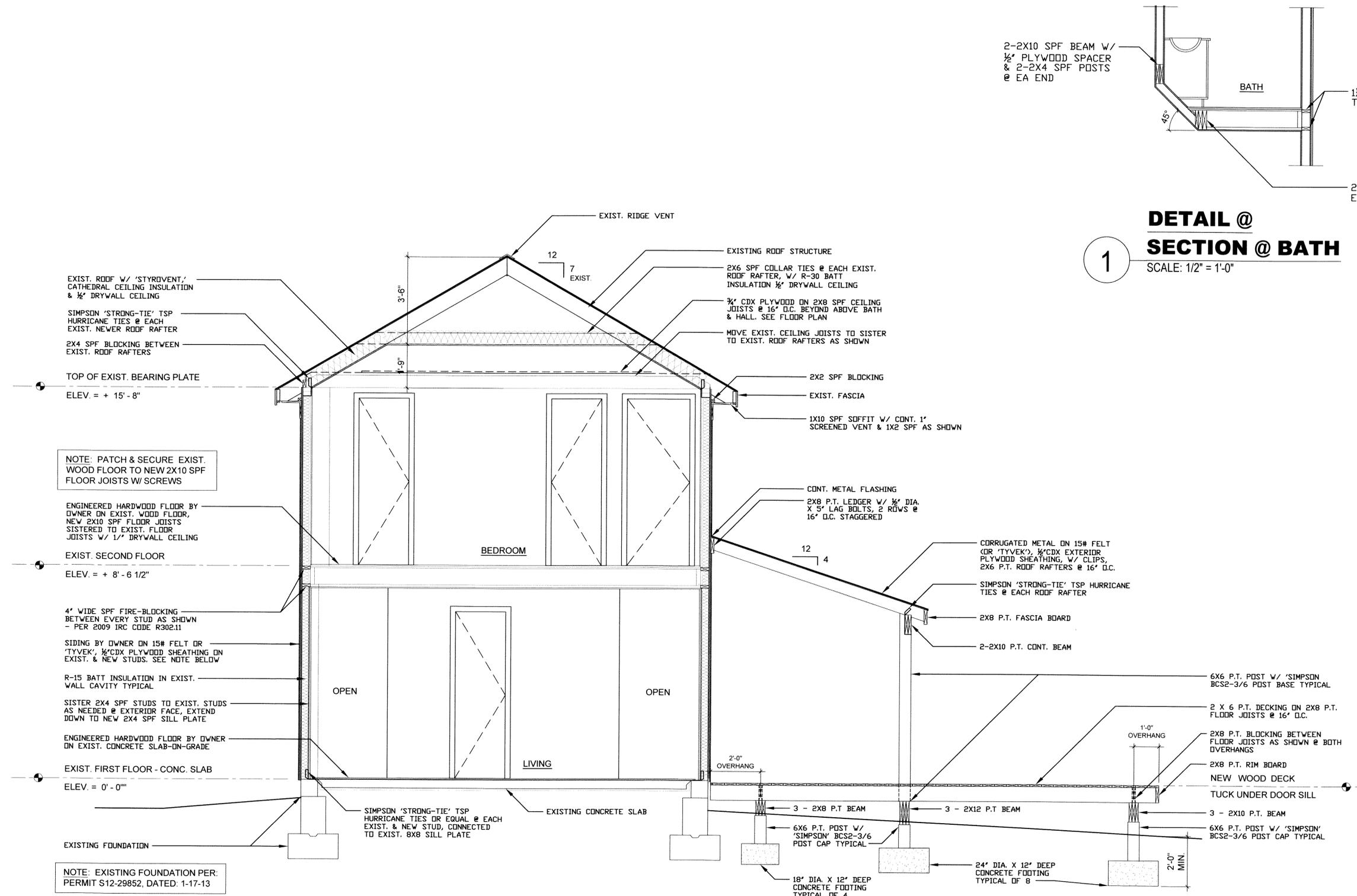
NORTH ELEVATION (FACES ROAD)

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



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DETAIL @ SECTION @ BATH

SCALE: 1/2" = 1'-0"

SECTION A

SCALE: 1/2" = 1'-0"

date: JULY 6, 2016
 scale: 1/2"=1'-0"



HISTORIC Auburn LLC
16-5164